

# ARCHITECTURAL ABBREVIATIONS

& @ Ø	AND DIAMETER	EA ELEC	EACH ELECTRIC(IAL)	IN INCL	INCH INCLUDE(D), (ING)	RAD RWL	RADIUS RAIN WATER LEADER	WC WH	WATER CLOSET WATER HEATER
ABV	ABOVE	ELEV	ELECTRIC WATER COOLER	IC	INSIDE CLEAR	REC	RECESSED	WR	WATER RESISTANT
AFB	ABOVE FINISHED FLOOR	EL	ELEVATION	ID	INSIDE DIAMETER	REF	REFERENCE	WP	WATERPROOFING
AFG	ABOVE FINISHED GRADE	EL	ELEVATOR	INCL	INSULATE(D), (ION)	REFR	REFRIGERATOR	WT	WEIGHT
AP	ACCESS PANEL	EMER	EMERGENCY	INT	INTERIOR	REIN	REINFORCE	WWF	WELDED WIRE FABRIC
ACOUS	ACOUSTICAL	EXP	EXPANSION	INV	INVERT	REMO	REMOVE	WWM	WELDED WIRE MESH
ACT	ACOUSTICAL CEILING TILE	ENAM	ENAMEL	JAN	JANITOR	REQ'D	REQUIRED	WIN	WINDOW
ADD	ADDENDUM	ENAM	ENAMAL	JO	JOINT	RES	RESILIENT	WG	WIRE GLASS
ADH	ADHESIVE	EP	EPOXY PAINT(ED)	JT	JOIST	RT	RESILIENT TILE	WM	WITH
ADJ	ADJUSTABLE	EQU	EQUIPMENT	KIT	KITCHEN	RA	RETURN AIR	WO	WOOD
ADJ	ADJUSTABLE	EXH	EXHAUST	LAM	LAMINATE	REV	REVISION	WD	WORK POINT
AGG	AGGREGATE	EX	EXISTING	LAV	LAVATORY	RH	RIGHT HAND	WI	WROUGHT IRON
A/C	AIR CONDITIONING	EXP'D	EXPOSED	LCC	LEAD COATED COPPER	R	RISER		
AHU	AIR HANDLING UNIT	EJ	EXPANSION JOINT	LH	LEFT HANDE	RD	ROOF DRAIN		
ALT	ALTERNATE	EXT	EXTERIOR	LI	LIGHT	RM	ROOM		
ALUM	ALUMINUM	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	LS	LIGHT SWITCH	RO	ROUGH OPENING		
ANCH	ANCHOR ANCHORAGE	EXTD	EXTRUDED	LIT	LIGHT WEIGHT	RB	RUBBER		
ANOD	ANODIZED	FAB	FABRIC	LTV	LOUVER	SND	SANITARY NAPKIN DISPENSER		
APPROX	APPROXIMATE	FWC	FABRIC WALL COVERING	MACH	MACHINE	SCHED	SCHEDULE		
ARCH	ARCHITECTURAL	FOC	FACE OF CONCRETE	MB	MACHINE BOLT	SLNT	SEALANT		
AD	AREA DRAIN	FOF	FACE OF FINISH	MH	MAN HOLE	SECT	SECTION		
AUTO	AUTOMATIC	FOM	FACE OF MASONRY	MFR	MANUFACTURE (ER)	SHT	SHEET		
AVG	AVERAGE	FF	FINISHED FLOOR	MAS	MASONRY	SM	SHEET METAL		
BSMNT	BASEMENT	FA	FIRE ALARM	MO	MASONRY OPENING	SV	SHEET VINYL		
BM	BEAM	FE	FIRE EXTINGUISHER	MTR	MATERIAL(S)	SH	SHELF_SHELVING		
BRG	BEARING	FEC	FIRE EXTINGUISHER CABINET	MAX	MAXIMUM	SHR	SHOWER		
BEL	BELOW	FHC	FIRE HOSE CABINET	MC	MEDICAL	SKLT	SKYLIGHT		
BET	BETWEEN	FPRF	FIREPROOF	MED	MEDIUM	SOG	SOAP DISPENSER		
BIT	BITUMINOUS	FR	FIRE RATING	MD	MOLDING	SD	SOUND TRANSMISSION GLASS		
BLK'G	BLOCKING	FT	FIRE TREATED	MIN	MINIMUM	STC	SOUND TRANSMISSION GLASS		
BD	BOARD	FIXT	FIXTURE	MISC	MISCELLANEOUS	SC	SOLID CORE		
BOT	BOTTOM	FLG	FLASHING	MIR	MIRROR	SPEC	SPECIFICATION		
BW	BOTTOM OF WALL	FLR	FLOORING	MOD	MODULAR	SA	SPRAY ACOUSTIC		
BKT	BRACKET	FD	FLOOR DRAIN	MR	MOISTURE RESISTANT	SA	SPRAY ACOUSTIC		
BR	BRICK	FLUR	FLOURESCENT	MLDG	MOLDING, MOULDING	SQ	SQUARE		
BRZ	BRONZE	FTG	FOOTING	MTD	MOUNTED	S/S	STAINLESS STEEL		
BLDG	BUILDING	FDN	FOUNDATION	MULL	MULLION	ST	STAIR		
BUR	BUILT-UP ROOFING	FRM	FRAME	NAT	NATURAL	STD	STANDARD		
CAB	CABINET	FS	FULL SIZE	NOM	NOMINAL	STA	STATION		
CUH	CABINET UNIT HEATER	FURR	FURRED (ING)	NC	NONCORROSIVE	STL	STEEL		
CPT	CARPET (ED)	GA	GAGE, GUAGE	NT	NORTH	STRUC	STRUCTURAL		
CI	CAST IRON	GALV	GALVANIZED	NA	NOT APPLICABLE	SUSP	SUSPENDED		
CB	CATCH BASIN	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	SYS	SYSTEM		
CLG	CEILING	GL	GLASS, GLAZING	NTS	NOT TO SCALE	TKBD	TACKBOARD		
CMT	CEMENT	GFR	GLASS FIBER REINFORCED CONCRETE	NO	NUMBER	TEL	TELEPHONE		
CTR	CENTER	GMU	GLASS MASONRY UNIT	OC	ON CENTER	TEMP	TEMPERED		
CT	CERAMIC TILE	GT	GLASS TILE	OPNG	OPENING	TC	TERRA COTTA		
CHBD	CHALK BOARD	GB	GRAB BAR	OPP	OPPOSITE	TZ	TERAZZO		
CO	CLEAN OUT	GRD	GRADE (ING)	OPH	OPPOSITE HAND	TEX	TEXTURED		
CLR	CLEAR	GRT	GROUT	OZ	OUNCE	THK	THICKNESS		
CLO	CLOSET	GYP	GYPSPUM	OD	OVERSIDE DIAMETER	TPD	TOILET PAPER DISPENSER		
COL	COLUMN	GWB	GYPSPUM WALL BOARD	OA	OVERALL	T&G	TONGUE AND GROOVE		
COMP	COMPRESS(ED), (ION), (IBLE)	HP	HANDICAPPED	OH	OVER HEAD	T&B	TOP AND BOTTOM		
CONC	CONCRETE	HR	HANDRAIL	P	PAINT(ED)	T&C	TOP OF CONCRETE		
CMU	CONCRETE MASONRY UNIT	HBD	HARD BOARD	PR	PAIR	TF	TOP OF FOOTING		
CONSTR	CONSTRUCTION	HDW	HARDWARE	PBL	PANEL	TJ	TOP OF JOIST		
CONT	CONTINUOUS	HDWD	HARDWOOD	PBN	PARTICLE BOARD	TSL	TOP OF SLAB		
CONTR	CONTRACT(OR)	HD	HEAD	PTN	PARTITION	TST	TOP OF STEEL		
CJT	CONTROL JOINT	HTG	HEATING	PVMNT	PAVEMENT	TW	TOP OF WALL		
CG	CORNER GUARD	HVAC	HEATING/VENTILATING/AIR CONDITIONING	PVRS	PAVERS	TB	TOWEL BAR		
CORR	CORRIDOR	HPT	HIGH POINT	PERF	PERFORATE(D)	T	TREAD		
CTSK	COUNTERSINK	HC	HOLLOW CORE	PLAS	PLASTER	TRANS	TRANSPARENT		
CRS	COURSE	HM	HOLLOW METAL	P-LAM	PLASTIC LAMINATE	TYP	TYPICAL		
CVD	CUBIC YARD	HL	HOLE	PL	PLATE	UC	UNDERCUT		
DEPT	DEPARTMENT	HB	HOSE BIBB	PWD	PLYWOOD	UL	UNDERWRITERS LABORATORY		
DTL	DETAIL	HORIZ.	HORIZONTAL	PT	POIN	UR	URINAL		
DIAG	DIAGONAL			PT	PORCELAIN TILE	VERT	VERTICAL		
DIA	DIAMETER			PSF	POUNDS PER SQUARE FOOT	VG	VERTICAL GRAIN		
DIM	DIMENSION			PSI	POUNDS PER SQUARE INCH	VF	VERIFY IN FIELD		
DW	DISH WASHER			PFB	PREFABRICATE(D)	VEST	VESTIBLE		
DSPR	DISPENSER			PM	PRESSED METAL	VP	VENEER PLASTER		
DISP	DISPOSAL			PROP	PROPOSED	VIN	VINYL		
DR	DOOR			QTY	QUANTITY	VCT	VINYL COMPOSITION TILE		
DO	DOOR OPENING			QT	QUARRY TILE	VGB	VINYL FACED GYPSPUM WALL BOARD		
DBL	DOUBLE					VWC	VINYL WALL COVERING		
DA	DOUBLE ACTING								
DN	DOWN								
DWR	DRAWER								
DWG	DRAWING								
DF	DRINKING FOUNTAIN								

# 60 WALL STREET

PERMIT SET  
NOVEMBER 19, 2024

60 WALL STREET, WORCESTER, MA

**CODE REVIEW**  
260 Wall Street  
Worcester, MA  
August 27, 2021

Reviewed to Commonwealth of Massachusetts State Building Code 780 CMR (Ninth Edition - This is the Massachusetts Amendments to the IBC 2018), International Building Code (IBC) 2018, International Existing Building Code (IEBC) 2015, 1/9/09, International Energy Conservation Code (IECC) 2015, NFPA 101-1994, Architectural Access Board 521 CMR, 1/27/06; Americans with Disabilities Act (ADA) - 1990, Commonwealth of Massachusetts Fuel Gas and Plumbing Code 248 CMR, MA Electrical Code 527 CMR 12.00 with amendments to the NEC-70 (2017), MA Comprehensive Fire Safety Code 527 CMR 1.00 with amendments to NFPA-1 (2015).

**Summary:** The project is 4 attached two and one half story, three bedroom residential town houses to be built on a single lot, all with garages at grade level, living spaces on the two upper levels. All are wood framed and set back from the lot lines according to the zoning code regulations. (See engineered site plan by others included.) The building is to be sprinklered.

GENERAL BUILDING REQUIREMENTS - INTERNATIONAL BUILDING CODE (IBC)

IBC-304 Building use group: Residential R-2, Apartment houses of more than two dwelling units.

IBC-406.3.4 Garages under habitable rooms are to be separated using 5/8" Type X gypsum board attached to the underside of the structure and door openings connecting to the habitable spaces are to have a 20 minute rating and are self-closing and self-latching.

IBC-420.2 Rated separation walls are required between sleeping units in the same building.

IBC-503 Construction Type V-B - The proposed building is 3 levels at approximately 2236 SF. It is to be constructed of wood frame with gypsum wall board on a grade level concrete slab and foundation walls. The building meets the requirements of Tables 504.3 and 504.4 which allows 3 stories and 60 feet above grade plane. The construction type meets the requirements of Table 506.2 which allows a sprinklered area of 21,000 SF.

Fire Resistance Rating Requirements for Building Elements. Construction Type V-B

IBC-Tbl. 601 Building Element:		
Structural Frame (Incl. columns, girders, trusses)	0 hrs	
Bearing Walls	0 hrs	
Non Bearing Interior Walls.	0 hrs	
Floor (Incl. beams & joists)	0 hrs	
Roof (Incl. beams & joists)	0 hrs	

IBC-Tbl. 602 Exterior Walls (Use Group R-2)		
<5'	< 10'	1 hr
≥5'	< 30'	1 hr
≥10'	< 30'	1 hr
≥30'		0 hrs

Fire and Smoke Protection Features

IBC-707.2.3 Combustible projections from the building must be more than 5 feet from fire resistive construction.

IBC-708.1 Fire partitions are required between tenant spaces in R-2 occupancies.

IBC-708.3 Fire partitions shall have a rating of not less than 1 hour.

IBC-708.4 Fire partitions shall extend from the top of the foundation or floor to the underside of the roof sheathing.

Egress Requirements

IBC-1010.1.1 Doors must be 32" in clear width.

IBC-1010.1.2 Doors must swing in the direction of egress if serving over an occupancy of 50 persons or more.

IBC-1011.2 Width of stairways shall not be less than 36" for occupancies of less than 50 persons.

IBC-1011.5.2 R-2 occupancies are to have stairs with not greater than 7 3/4" risers and not less than 10" treads.

IBC-1011.11 Handrails need only be provided on one side of stair in residential occupancies. Provide handrails at 34" above stair nosings.

IBC-1015 Guards in R-2 occupancies are to be not less than 36" high from walking surface.

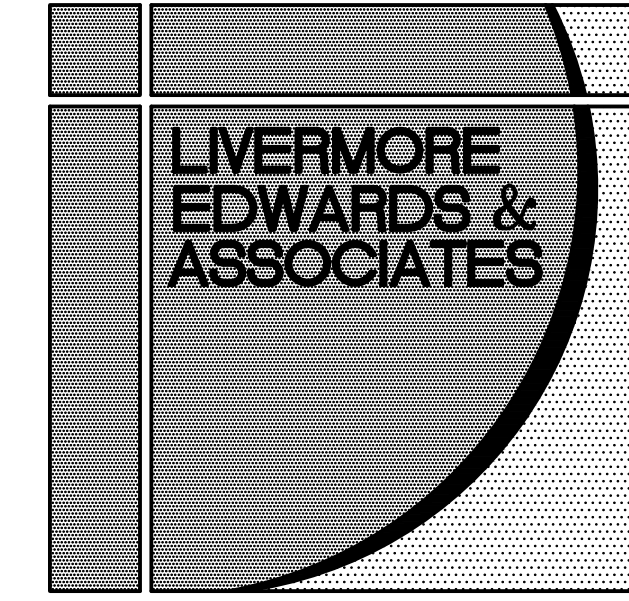
IBC-1030 Emergency escape and rescue provisions are required from R-2 occupancies. Opening are to have a clear opening of 5.7 sq ft with a minimum width of 20" and minimum height of 24" with bottom below 44" from the floor. Opening should have access directly to a public way

Structural

IBC 1601 (Not Reviewed by this Report)

Reviewed by:

Robert Livermore III, RA - MA Arch 4330



**ARCHITECTS & PLANNERS**  
14 Spring Street  
Waltham, MA 02451  
Tel (781) 891-1280  
Fax (781) 891-1650  
www.livermoreedwards.com

## INDEX OF DRAWINGS

COVER AND CODE SHEET

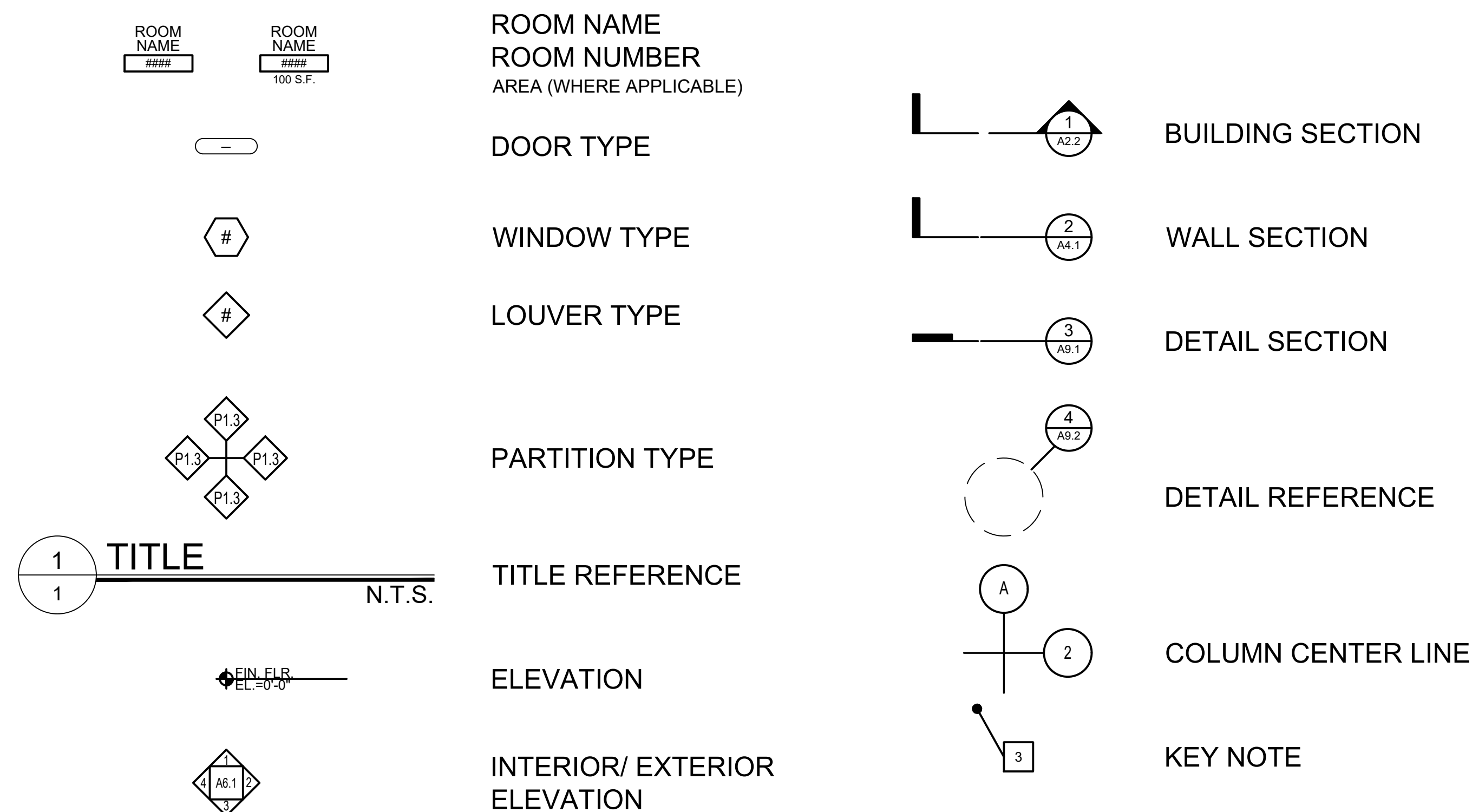
ARCHITECTURAL

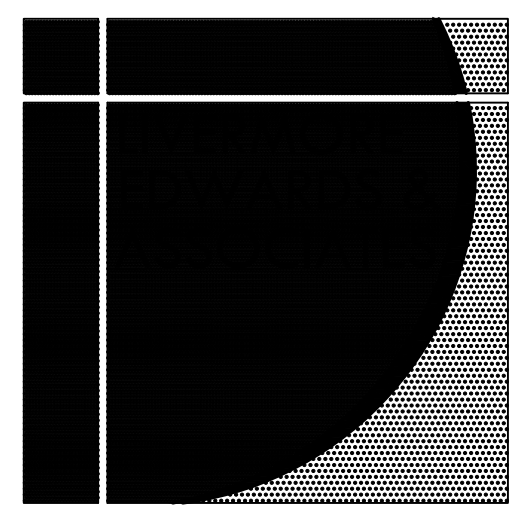
A1-1	FLOOR PLANS
A1-2	FLOOR & ROOF PLANS
A2-1	BUILDING AND WALL SECTIONS
A2-2	ELEVATION AND WINDOW SCHEDULE
A2-3	ELEVATIONS AND WINDOW SCHEDULE

STRUCTURAL

S1-1	FRAMING PLANS
S1-2	FRAMING PLANS
S2-1	DETAILS

## ARCHITECTURAL SYMBOLS





14 Spring Street  
 Waltham, MA 02451  
 Tel (781) 891-1260  
 Fax (781) 891-1650  
 www.livermoreedwards.com

**GENERAL SHEET NOTES**

1. DIMENSIONS ARE TO FACE OF FINISH GYP BOARD.
2. ALL EXPOSED GYP BOARD TO BE LEVEL 4 FINISH.
3. SEE S1-1 FOR FOUNDATION CONSTRUCTION.
4. SEE STRUCTURAL DRAWINGS FOR FRAMING.
5. COORDINATE BUILDING CONSTRUCTION WITH CIVIL ENGINEERING PLANS.
6. FOR EXTERIOR STEPS AND RAILING DETAILS SEE SHEET S1-1.
7. DO NOT SCALE THIS SHEET. FOR ALL PLAN DIMENSIONS SEE STRUCTURAL DWNGS.

PROJECT:

**60 WALL STREET**

60 WALL STREET  
 WORCESTER, MA

PROJECT #: LE 2119  
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 CHECKED BY: RL  
 APPROVED BY: RL  
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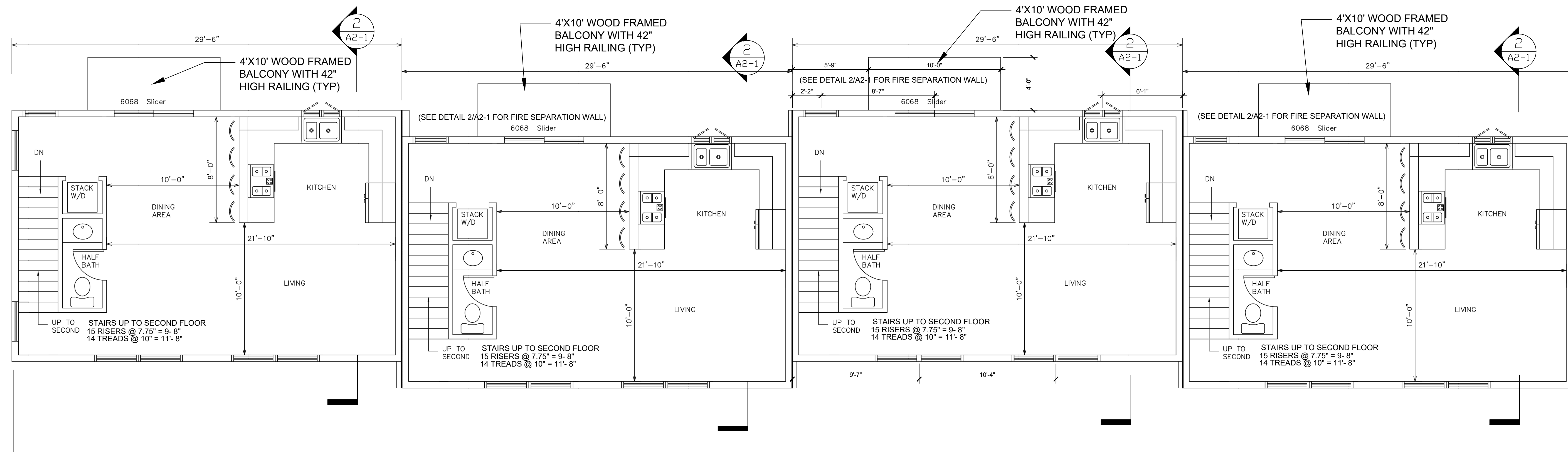
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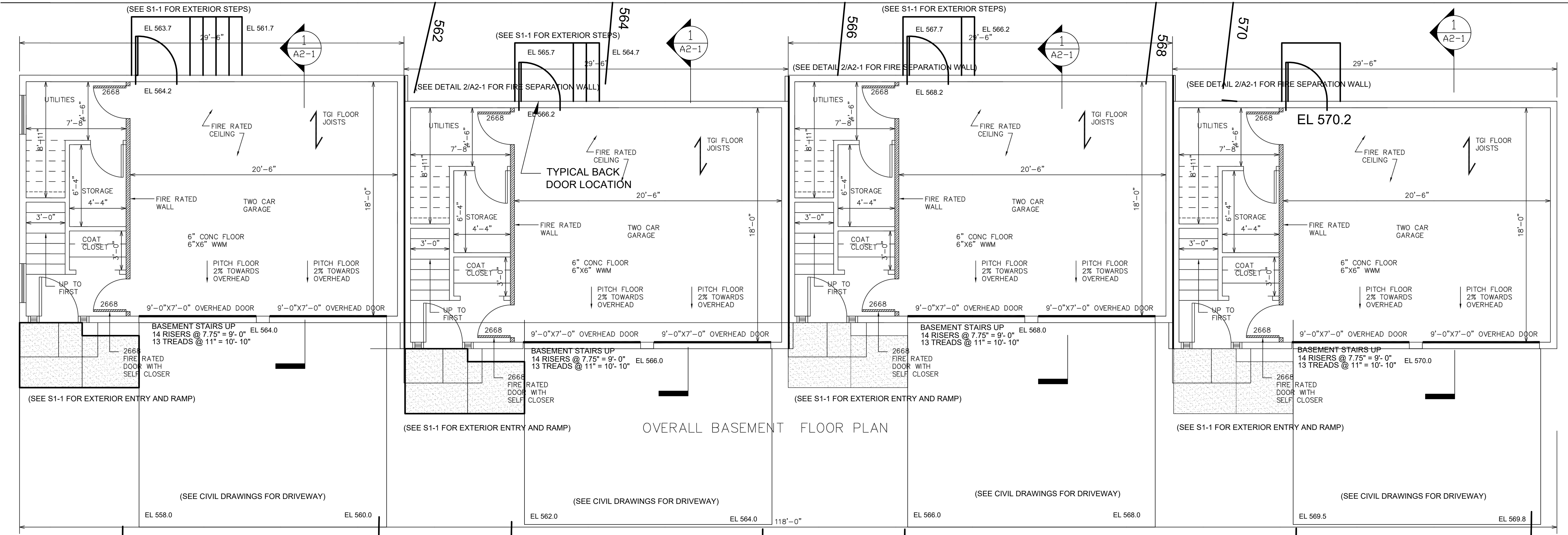
DRAWING:

**FLOOR PLANS**

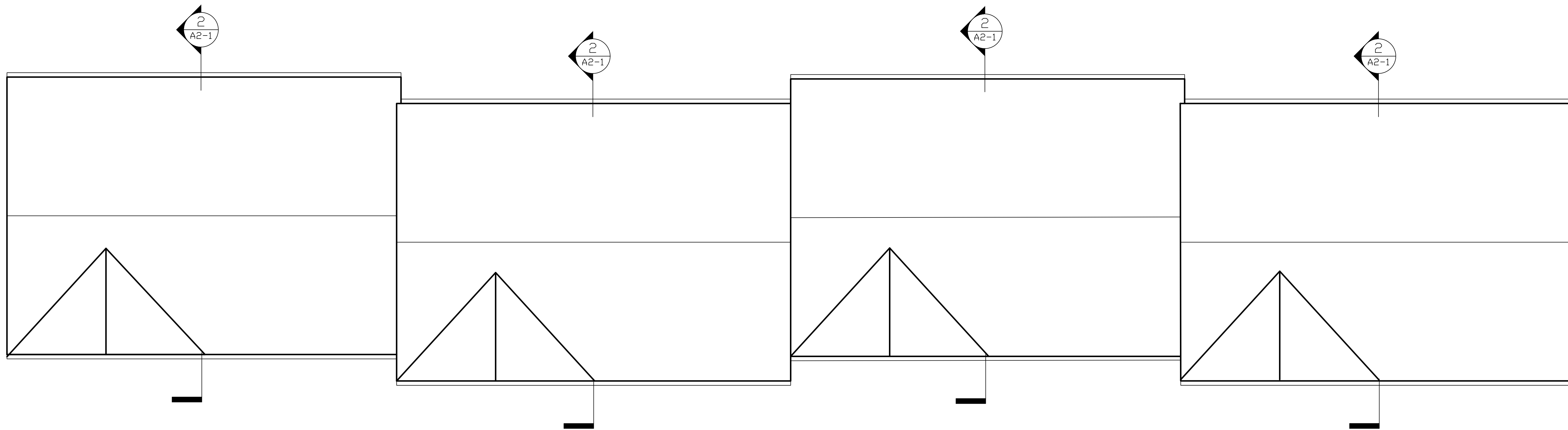
**A1-1**



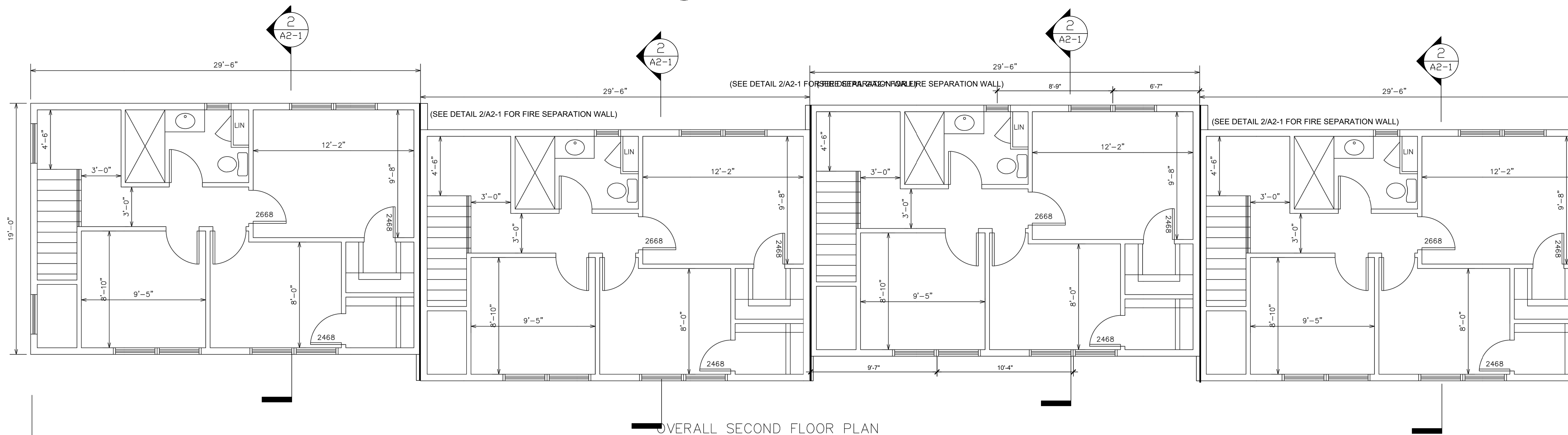
**2 FIRST FLOOR PLAN**  
 1/4" = 1'-0"



**1 BASEMENT PLAN**  
 1/4" = 1'-0"



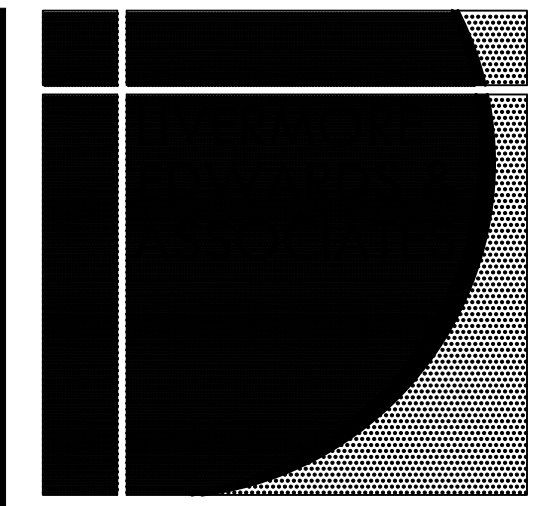
**2 ROOF PLAN**  
1/4" = 1'-0"



**1 OVERALL SECOND FLOOR PLAN**  
1/4" = 1'-0"

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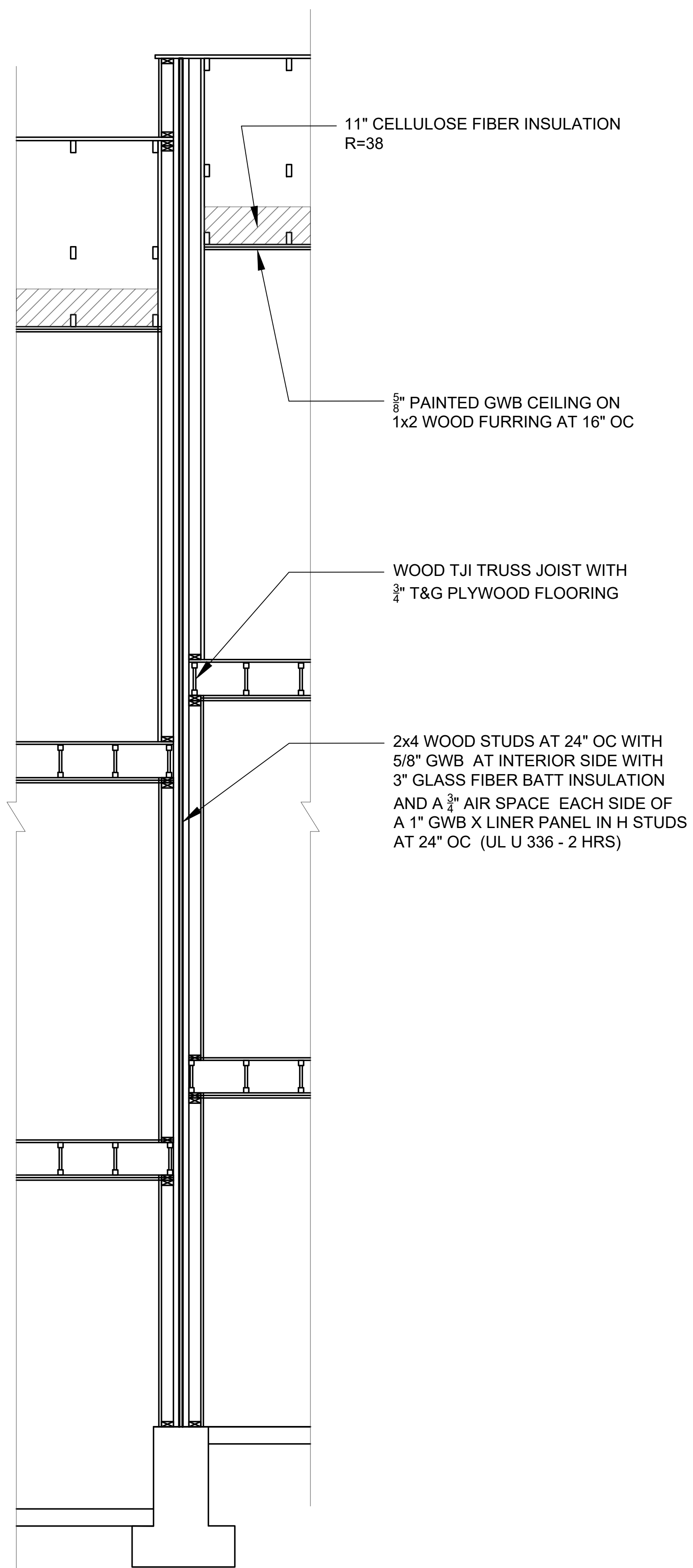
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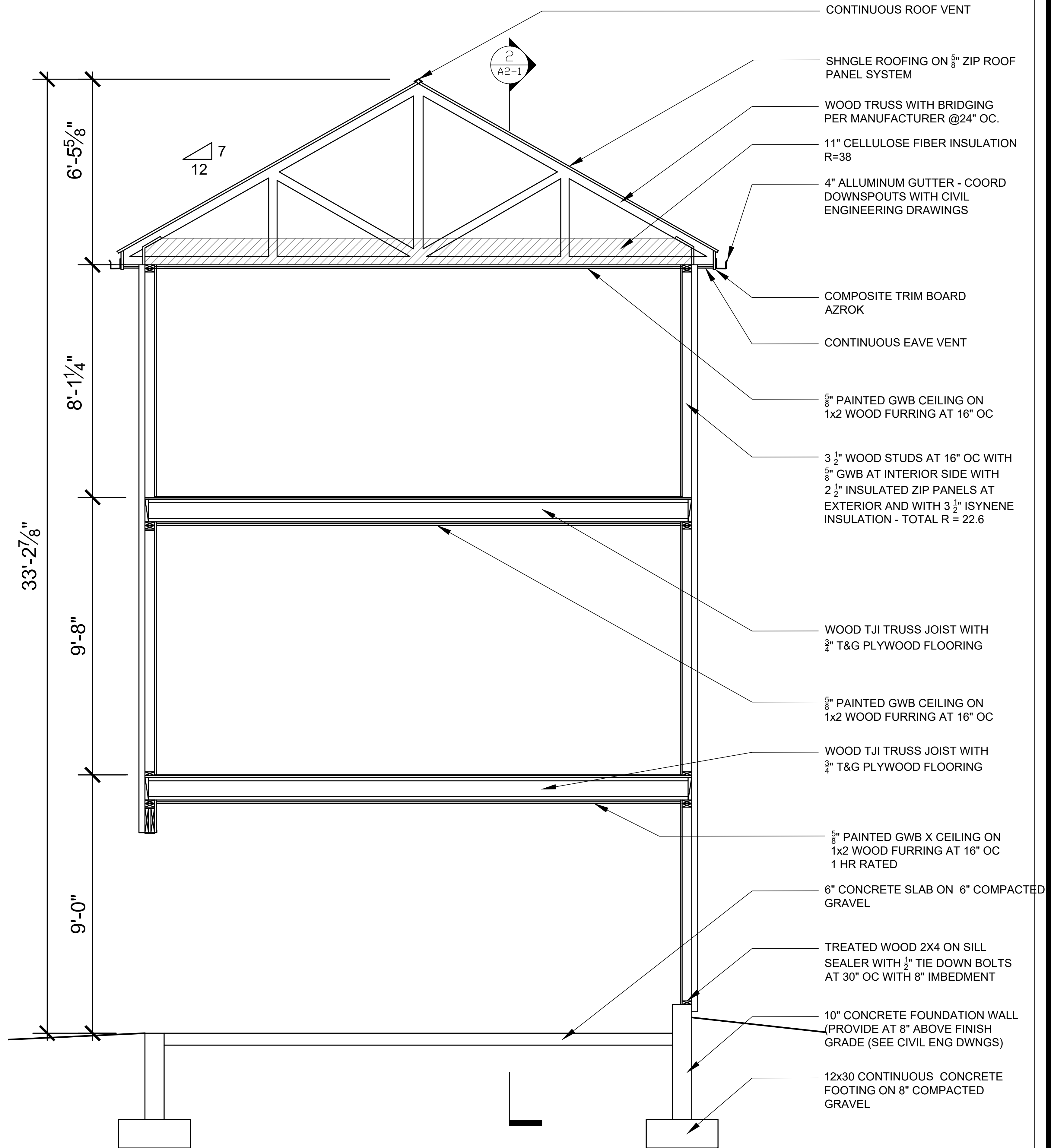
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DRAWING:  
**FLOOR & ROOF  
PLANS**

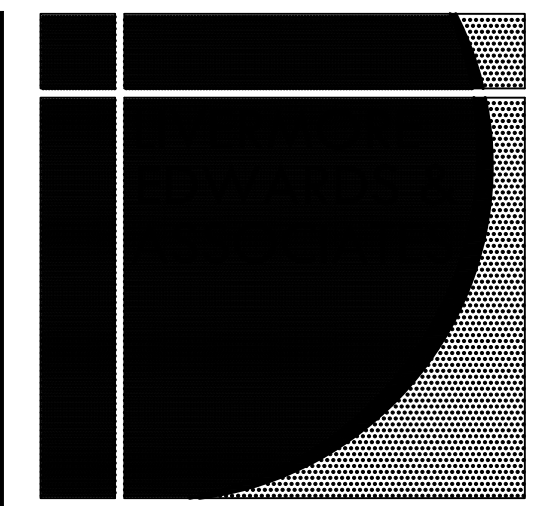
**A1-2**



**2** PARTY WALL SECTION  
1/2" = 1'-0"



**1** BUILDING SECTION  
1/2" = 1'-0"



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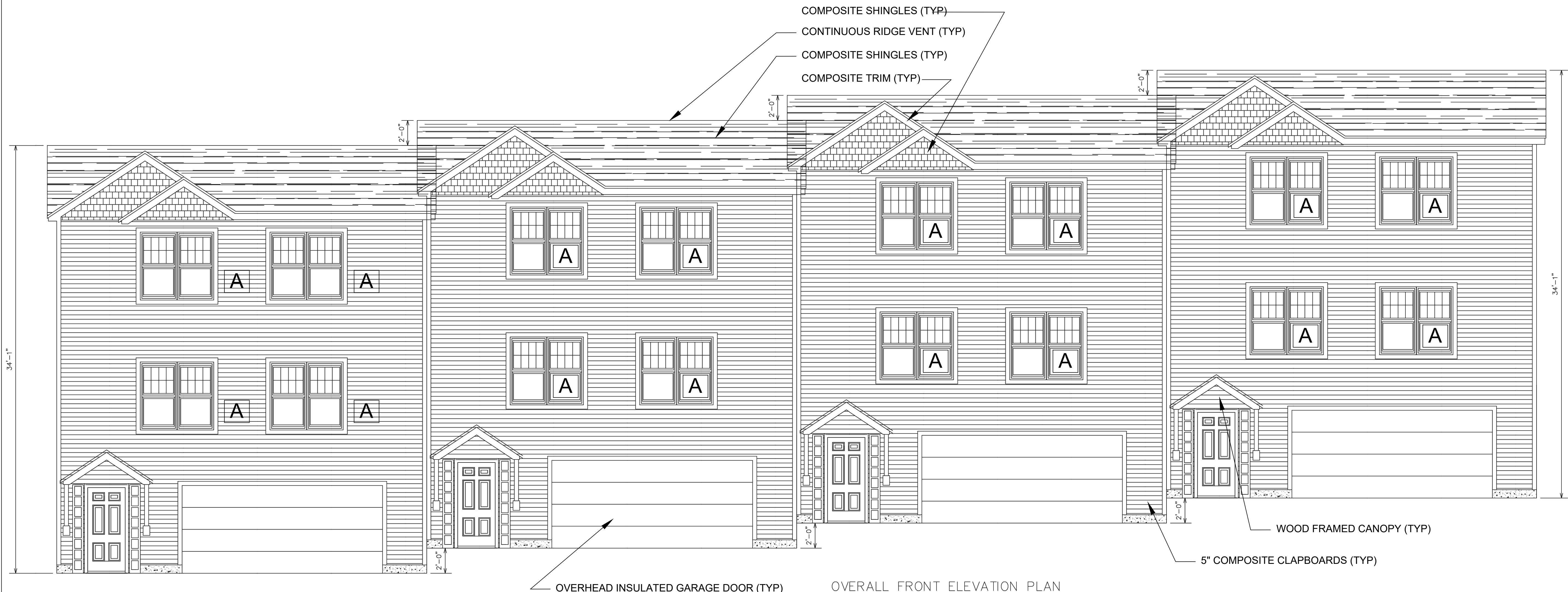
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DRAWING:  
**BUILDING & WALL  
SECTION**

**A2-1**

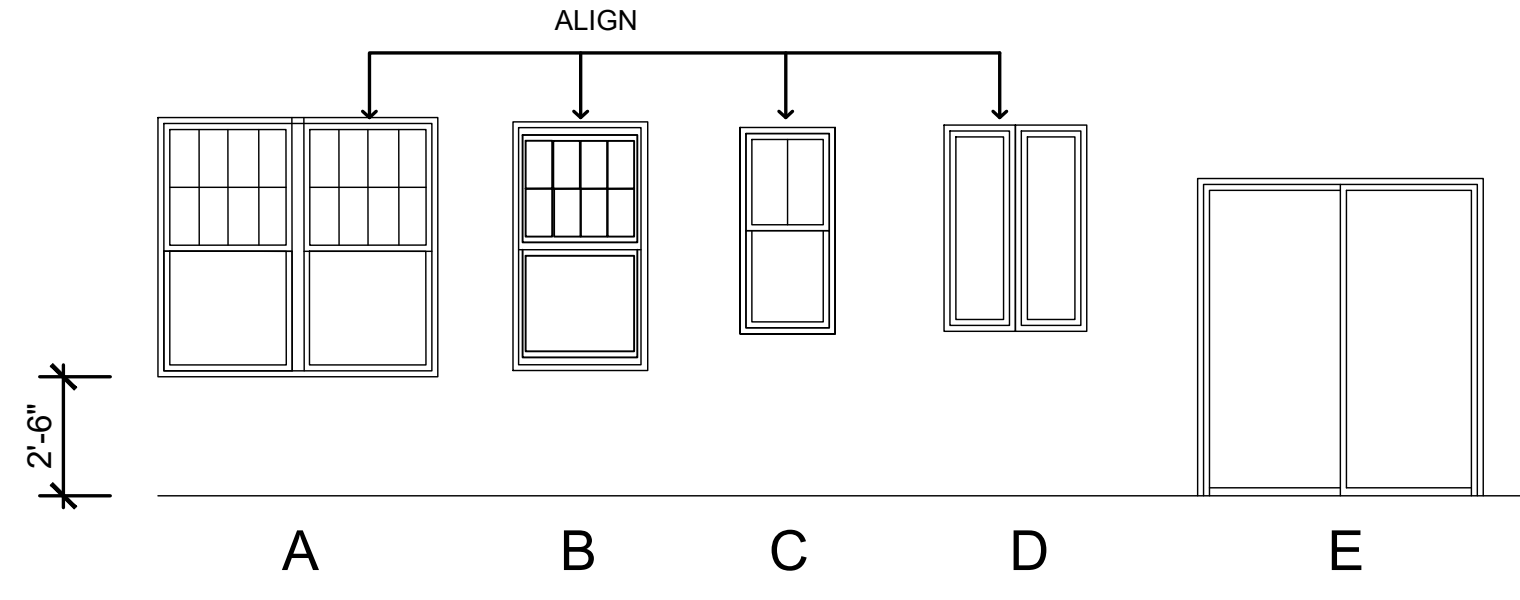




OVERHEAD INSULATED GARAGE DOOR (TYP) OVERALL FRONT ELEVATION PLAN

**1 FRONT ELEVATION**  
1/4" = 1'-0"

WINDOW SCHEDULE		
A	PAIR DOUBLE HUNG	36 X 66 (EA)
B	DOUBLE HUNG	36 X 66 (EA)
C	BATHROOM WINDOW	24 X 52 (EA)
D	KITCHEN CASEMENT	18 X 52 (EA)
E	SLIDER	72 X 80



**1 WINDOW TYPES**  
1/4" = 1'-0"

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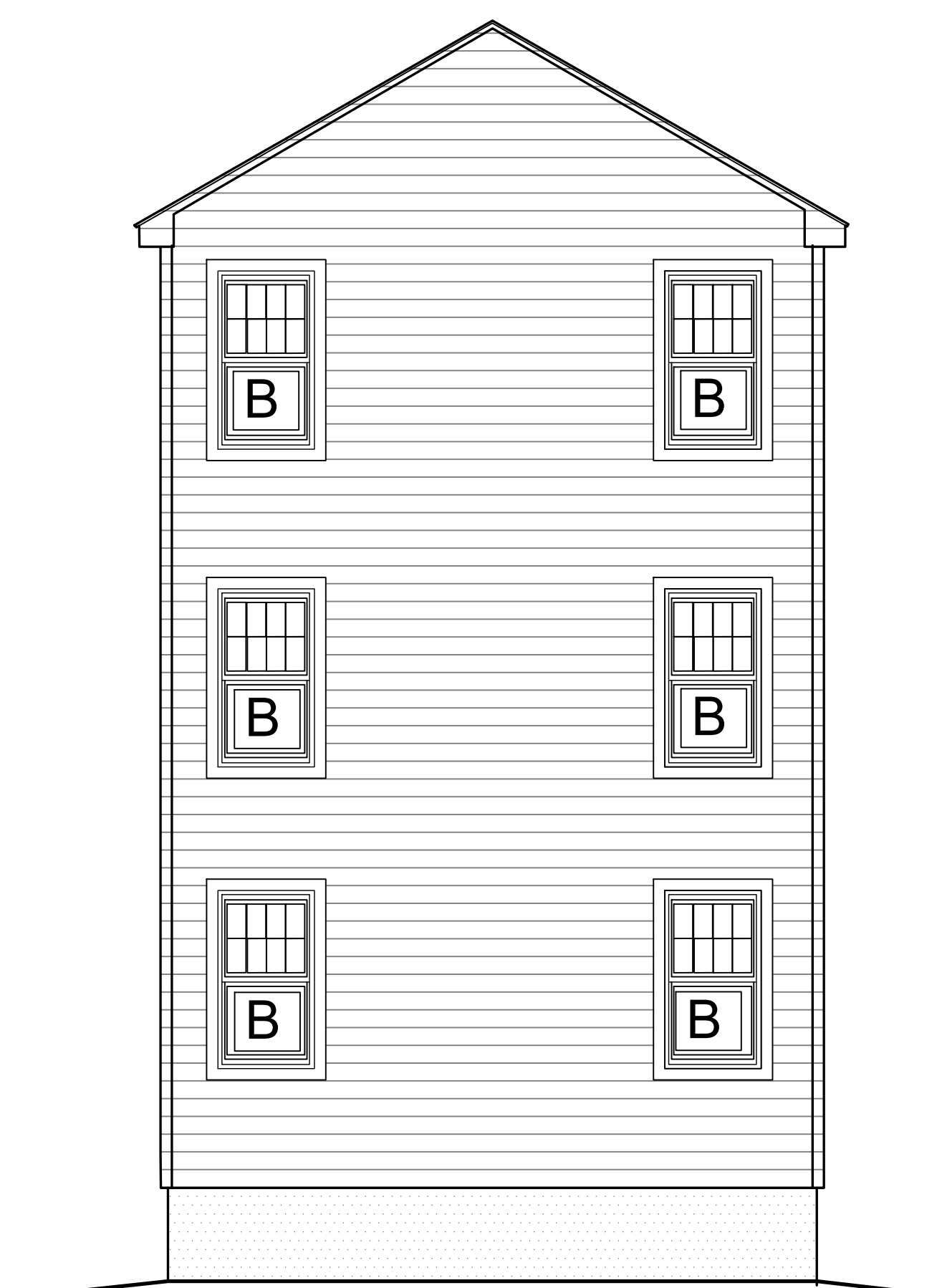
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DRAWING:  
**ELEVATION & WINDOW SCHEDULE**

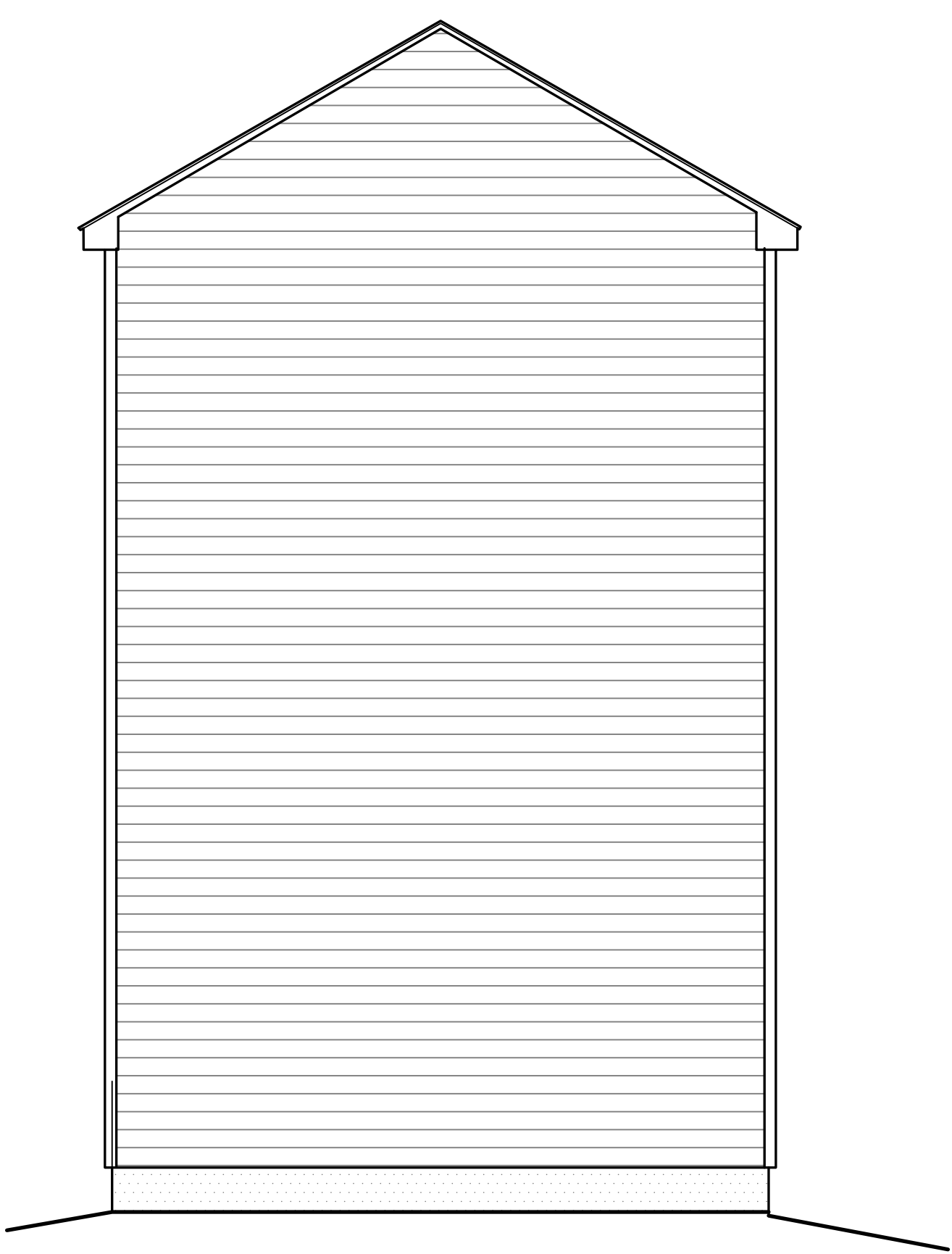
**A2-2**



1 REAR ELEVATION  
1/4" = 1'-0"

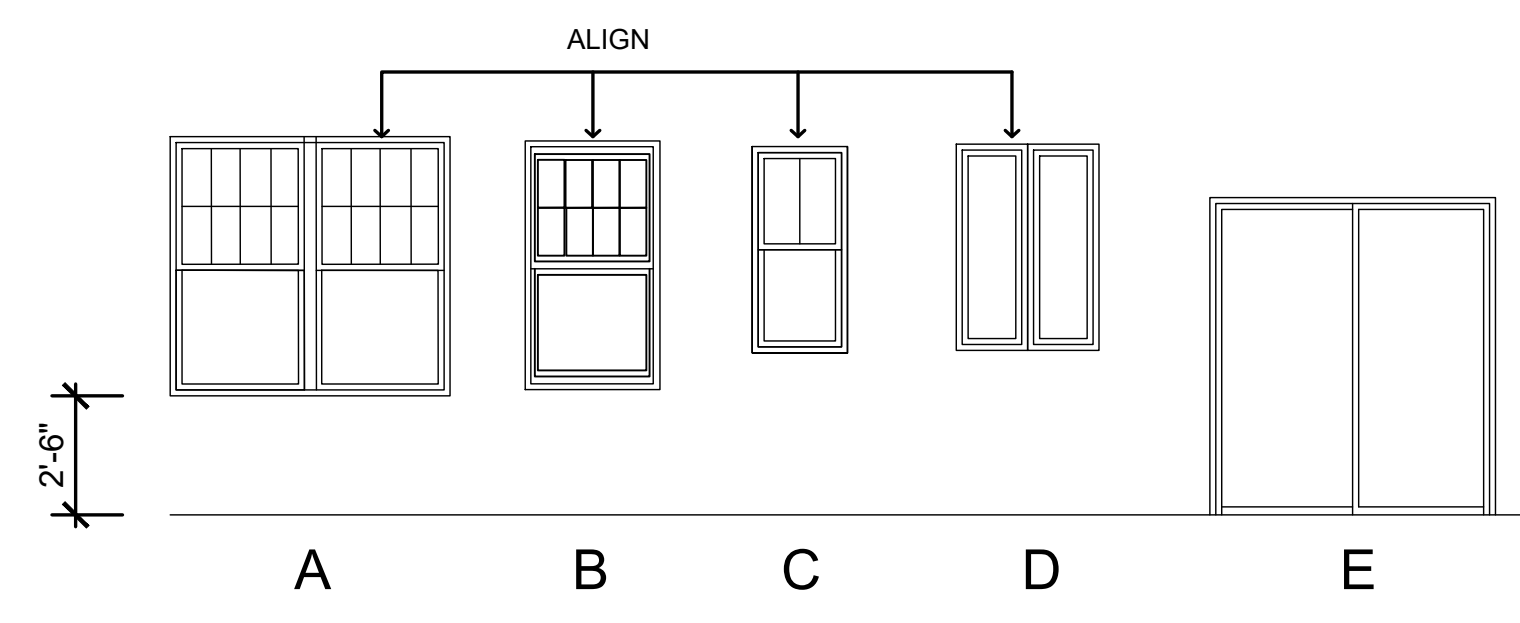


3 LEFT ELEVATION  
1/4" = 1'-0"



2 RIGHT ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE		
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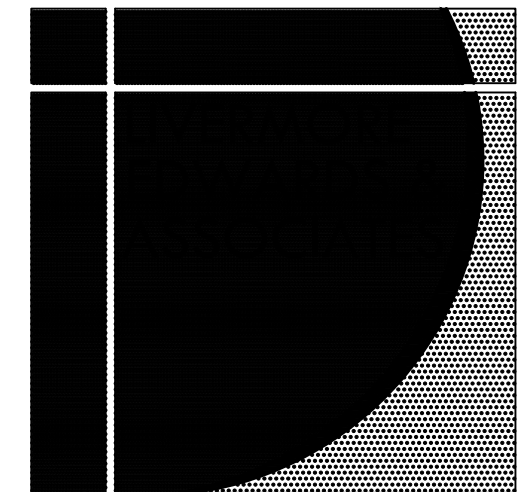
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DRAWING:  
ELEVATIONS  
& WINDOW  
SCHEDULE

A2-3



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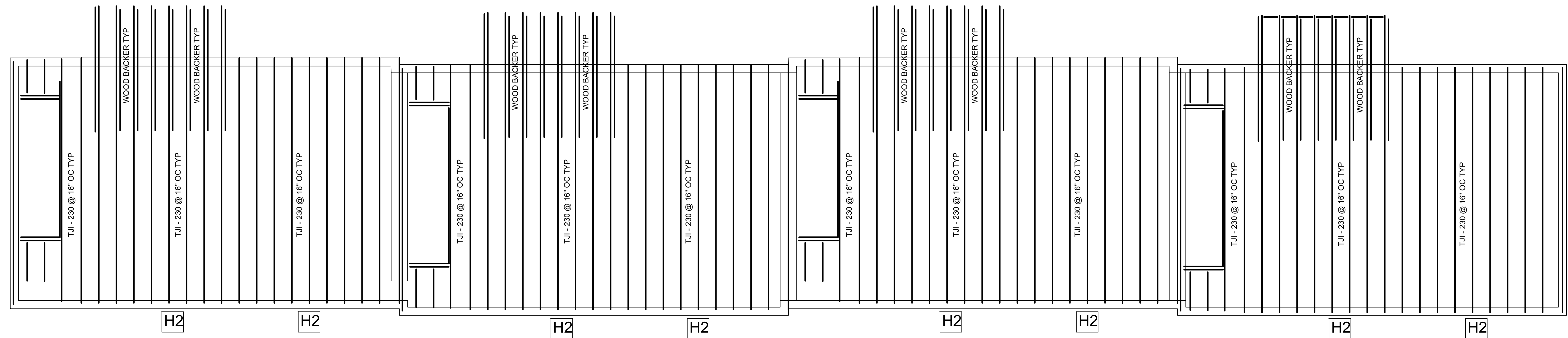
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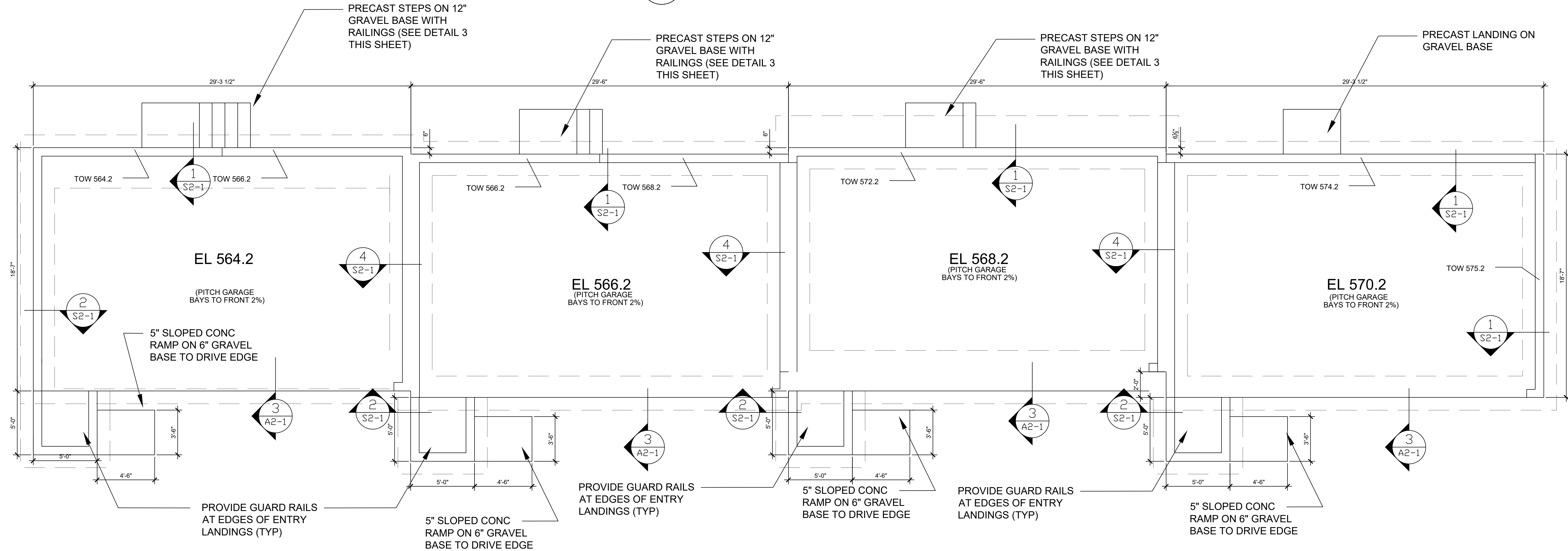
DRAWING:

**FOUNDATION & FRAMING PLANS**

**S1-1**

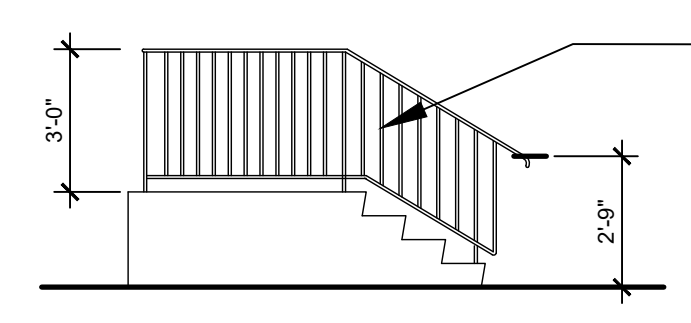


**2 FIRST FLOOR FRAMING PLAN**  
 1/4" = 1'-0"



**1 FOUNDATION & GRADE PLAN**  
 1/4" = 1'-0"

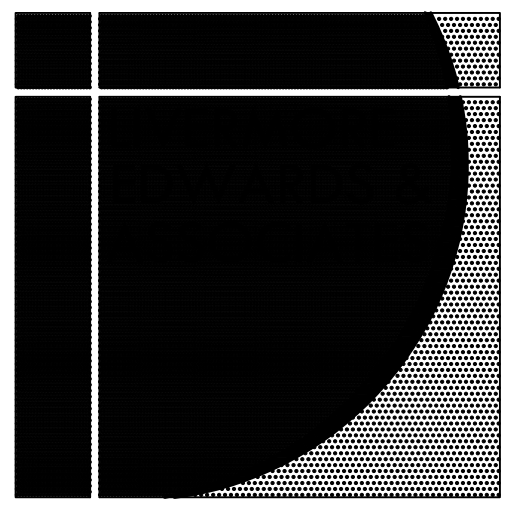
**3 ELEVATION OF EXTERIOR STAIR**  
 1/4" = 1'-0"



**STRUCTURAL GENERAL NOTES:**

1. ALL JOISTS TO BE 2 5/8" X 1 1/2" TJI 230 U.O.N. ALL CONNECTION DETAILS AND SUPPLEMENTARY SUPPORT ELEMENTS TO BE ACCORDING TO TRUSS JOIST (WEYERHAEUSER) PRINTED LITERATURE.
2. SHADED WALLS ARE BRACED PARTITIONS (BWP); ATTACH WALL SHEATHING ON BOTH SIDES W/ SCREWS @ 4" o.c. OF PERIMETER AND 8" o.c. IN FIELD OF EACH SHEET.
3. SEE ARCHITECTURAL PLANS FOR WINDOW AND DOOR HEADER WIDTHS AND LOCATIONS.
4. BRIDGING REQUIRED
5. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND OPENING LOCATIONS.
6. NOTE THAT FOUNDATION WIDTHS IS 2" LESS THAN EXTERIOR BUILDING DIMENSIONS TO ALLOW FOR EXTERIOR INSULATION AND SHEATHING TO PASS BY FOUNDATION WALLS AS GRADE CHANGES.
7. ALL CONCRETE TO BE 3000 LB OR BETTER.
8. REINFORCING FOR FOOTINGS TO BE (2) #5 REINFORCING AT 2" ABOVE BOTTOM OF FOOTING.
9. COORDINATE FOUNDATION WALLS WITH SITE GRADING REQUIREMENTS.
10. FOR STAIR FRAMING DIMENSIONS SEE A1-1.

HEADER SCHEDULE		
H1		
H2	(2) 1 3/4" x 9 1/2"	R.O. LESS THAN 10'
H3	(2) 2" x 8"	R.O. LESS THAN 4'



14 Spring Street  
Waltham, MA 02451  
Tel (781) 891-1260  
Fax (781) 891-1650  
www.livermoreedwards.com



PROJECT:

60 WALL STREET

60 WALL STREET  
WORCESTER, MA

PROJECT #: LE 2119  
DRAWN BY:  
CHECKED BY: RL  
APPROVED BY: RL  
SCALE:

STATUS:  
 SCHEMATIC DESIGN  
 REVIEW  
 DESIGN DEVELOPMENT  
 FINAL REVIEW  
 BIDDING  
 PERMIT  
 CONSTRUCTION  
 NOT FOR CONSTRUCTION  
 AS-BUILT

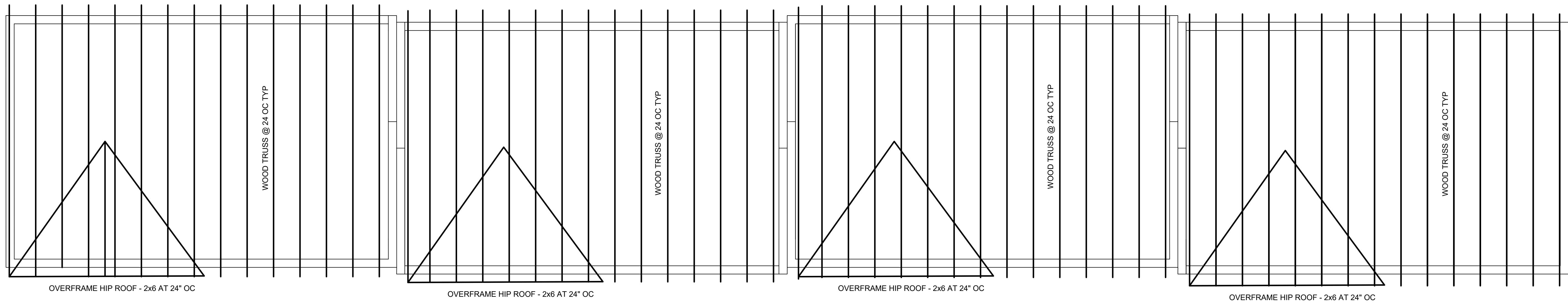
DATE: 11/18/24

REVISIONS:  
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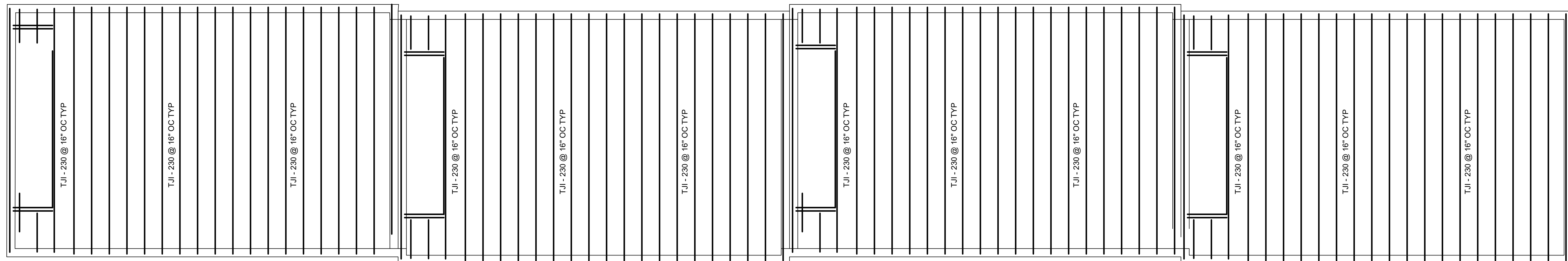
DRAWING:

FRAMING PLANS

S1-2



**2** ROOF FRAMING PLAN  
1/4" = 1'-0"

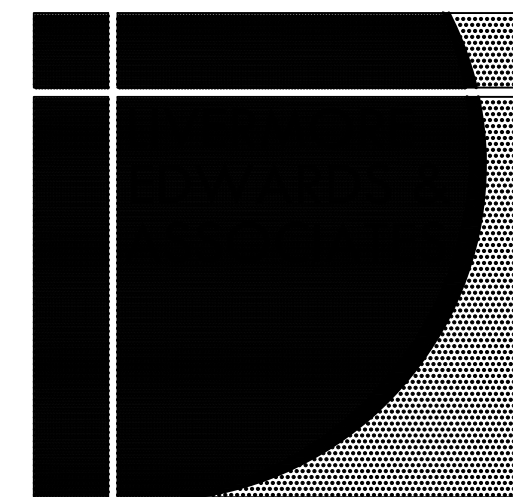


**1** SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

- ALL JOISTS TO BE 2 5/8" X 1 1/2" TJI-230 U.O.N. ALL CONNECTION DETAILS AND SUPPLEMENTARY SUPPORT ELEMENTS TO BE ACCORDING TO TRUS JOIST (MEYERHOUSER) PRINTED LITERATURE.
- SHADED WALLS ARE BRACED PARTITIONS (BWP); ATTACH WALL SHEATHING ON BOTH SIDES W/ SCREWS @ 4" o.c. OF PERIMETER AND 8" o.c. IN FIELD OF EACH SHEET.
- SEE ARCHITECTURAL PLANS FOR WINDOW AND DOOR HEADER WIDTHS AND LOCATIONS.
- BRIDGING REQUIRED
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND OPENING LOCATIONS.
- NOTE THAT FOUNDATION WIDTH IS 2'-2" LESS THAN EXTERIOR BUILDING DIMENSIONS TO ALLOW FOR EXTERIOR INSULATION AND SHEATHING TO PASS BY FOUNDATION WALLS AS GRADE CHANGES.
- ALL CONCRETE TO BE 3000 LB OR BETTER.
- REINFORCING FOR FOOTINGS TO BE (2) #5 REINFORCING AT 2" ABOVE BOTTOM OF FOOTING.
- COORDINATE FOUNDATION WALLS WITH SITE GRADING REQUIREMENTS.
- FOR STAIR FRAMING DIMENSIONS SEE A1-1.

HEADER SCHEDULE	
H1	
H2	(2) 1 3/4" x 9 1/2" R.O. LESS THAN 10'
H3	(2) 2" x 8" R.O. LESS THAN 4'





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PROJECT:

**60 WALL STREET**

60 WALL STREET  
WORCESTER, MA

PROJECT #: LE 2119  
DRAWN BY: RL  
CHECKED BY: RL  
APPROVED BY: RL  
SCALE:

- STATUS:
- SCHEMATIC DESIGN
  - REVIEW
  - DESIGN DEVELOPMENT
  - FINAL REVIEW
  - BIDDING
  - PERMIT
  - CONSTRUCTION
  - NOT FOR CONSTRUCTION
  - AS-BUILT

DATE: 11/18/24

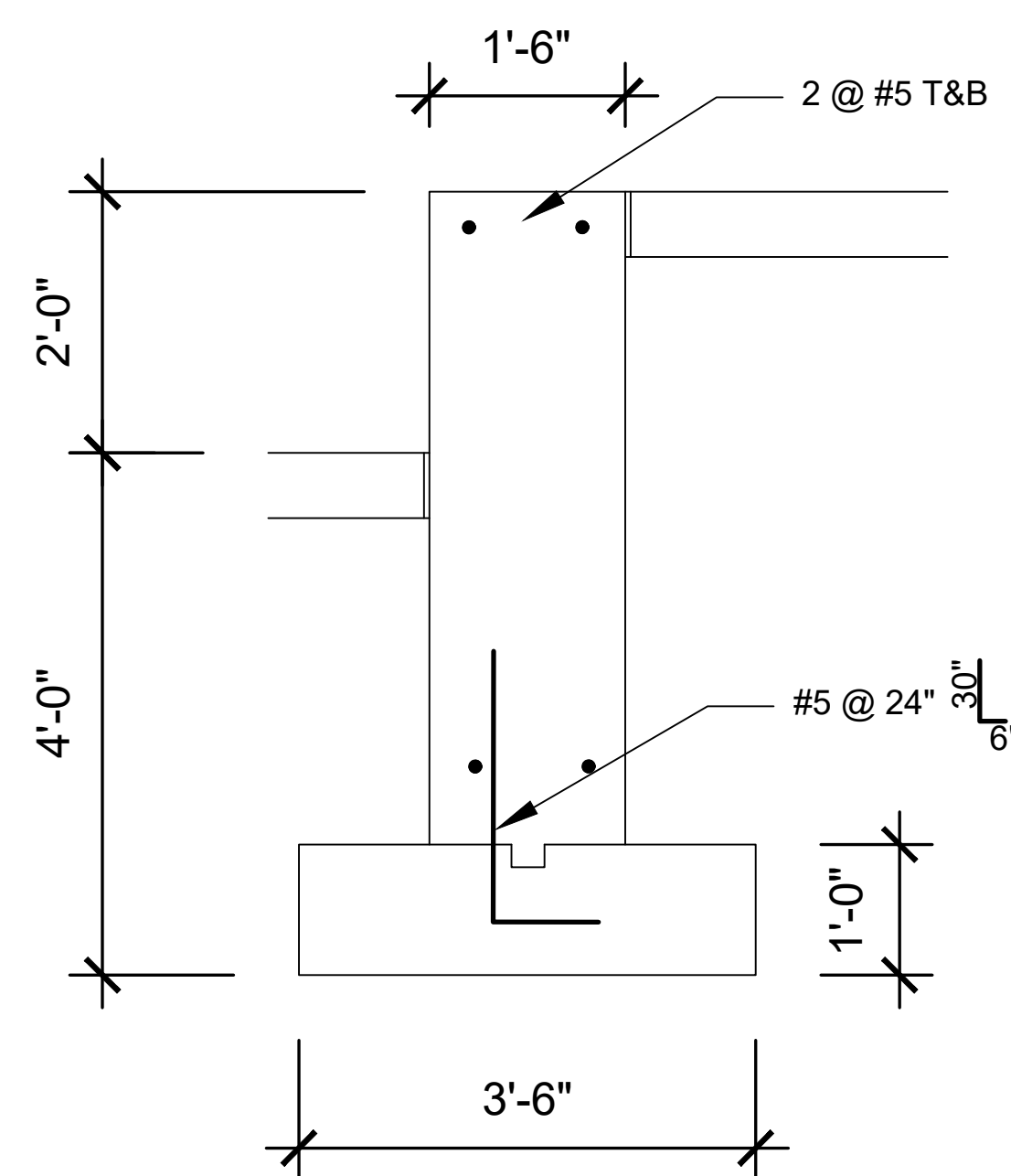
REVISIONS:

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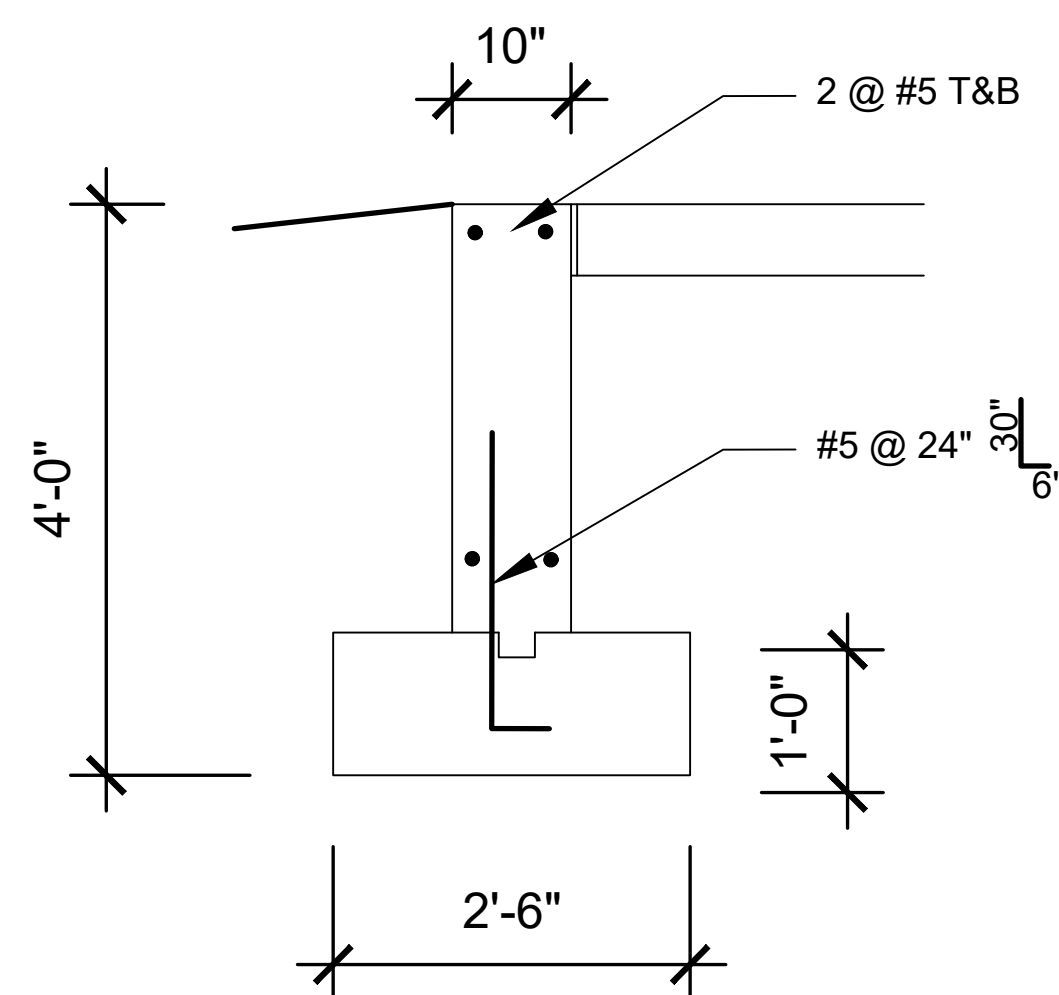
DRAWING:

**DETAILS**

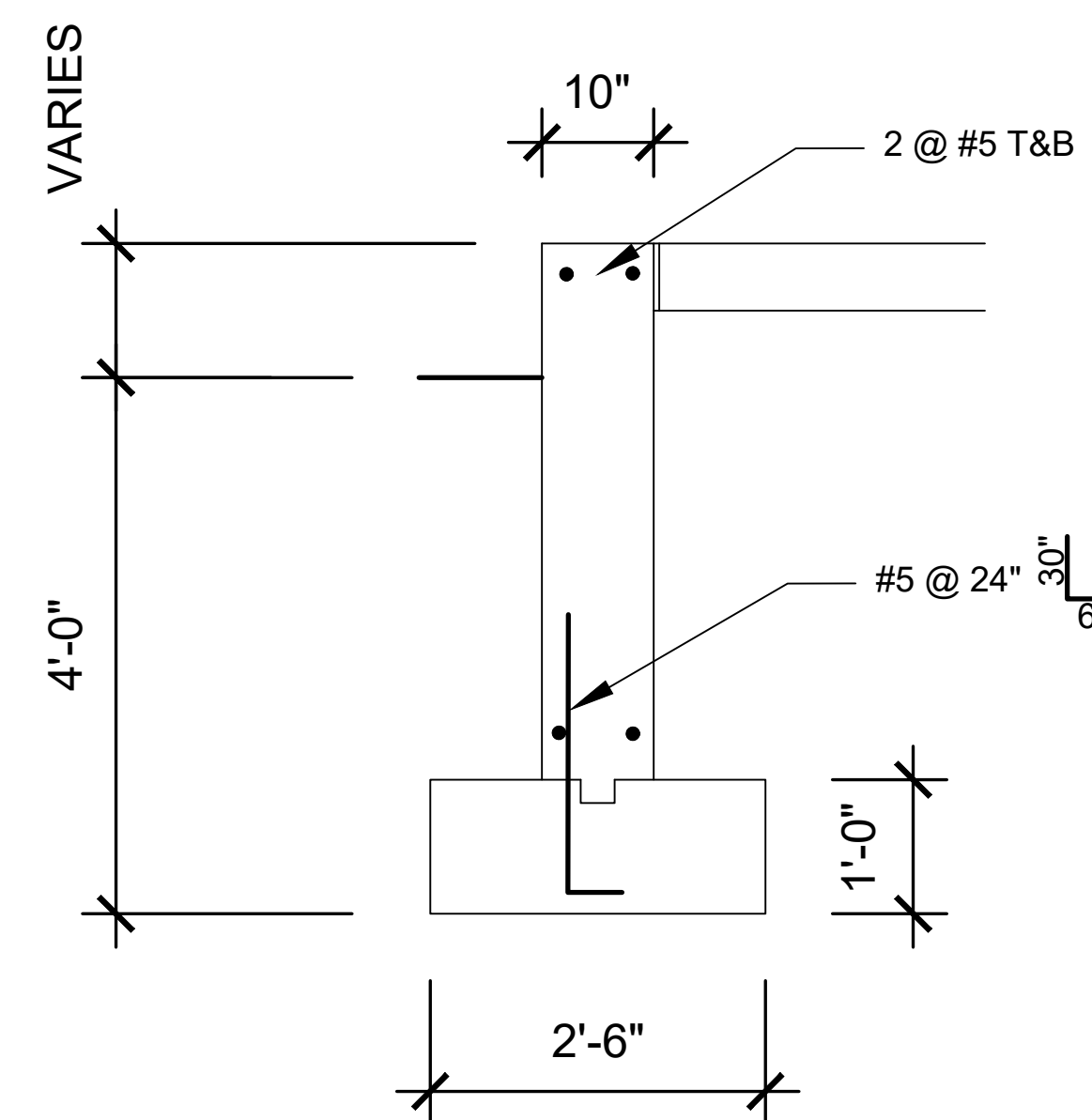
**S2-1**



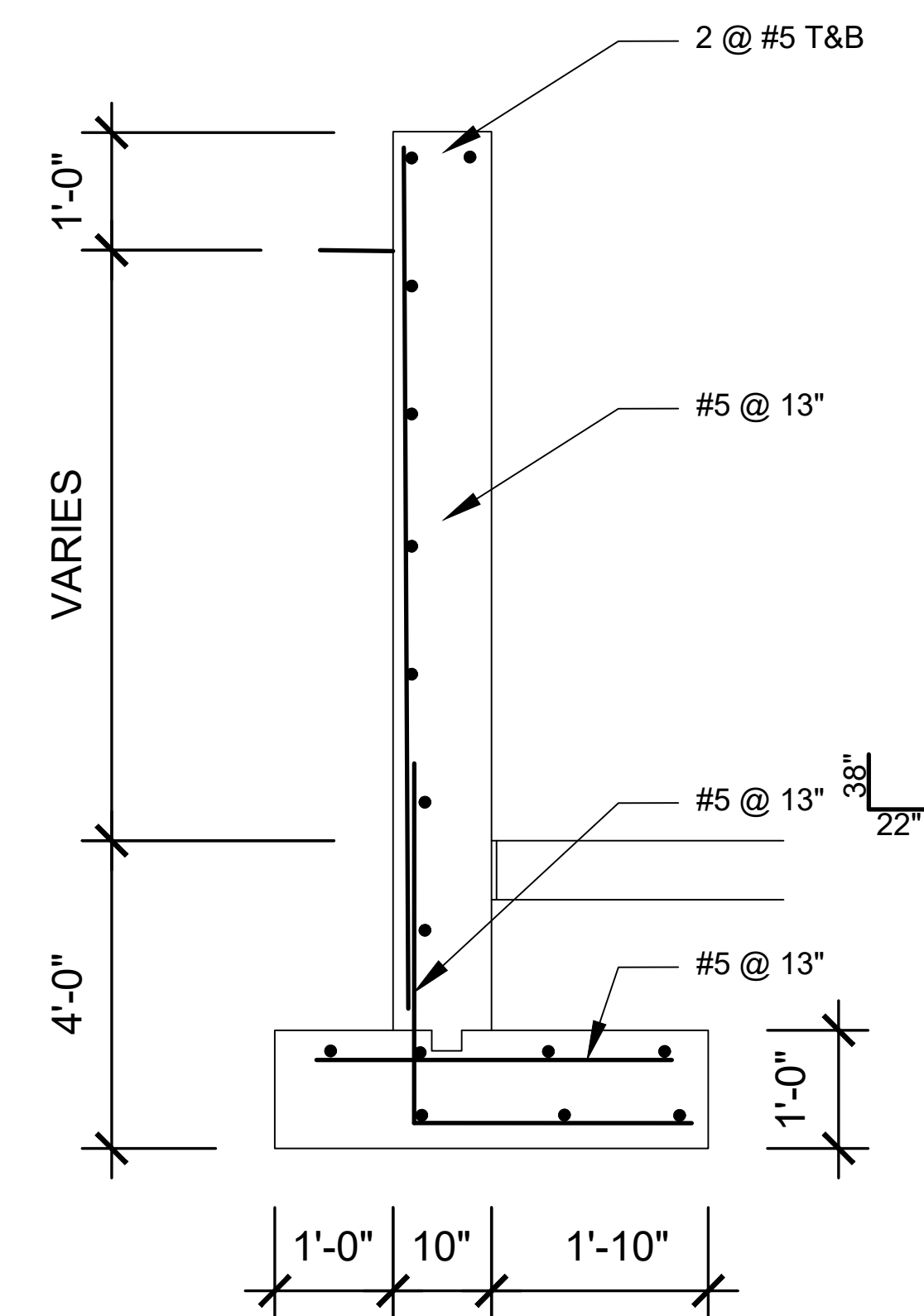
**4** PARTY WALL FOOTING  
3/4" = 1'-0"



**3** FOOTING AT GARAGE OPENINGS  
3/4" = 1'-0"



**2** TYPICAL FOOTING  
3/4" = 1'-0"



**1** FOOTING RETAINING EARTH  
3/4" = 1'-0"